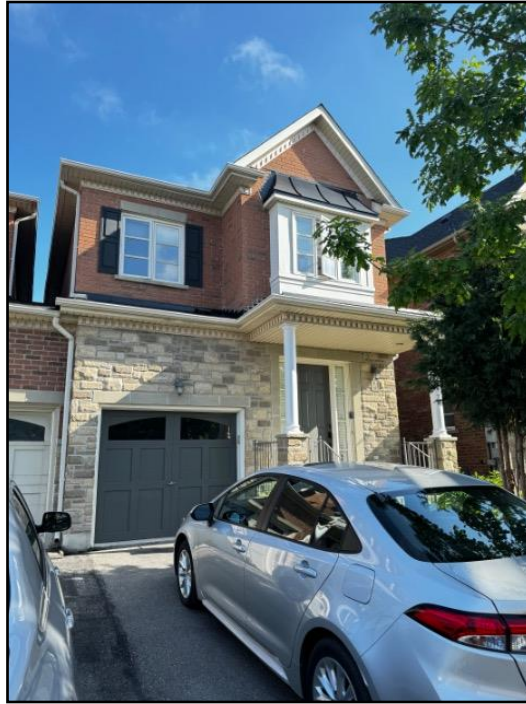


INSPECTION REPORT



For the Property at:
193 SOUTHVALE DRIVE
VAUGHAN, ON L6A 0Y9

Prepared for: DAVE ELFASSY
Inspection Date: Sunday, May 26, 2024
Prepared by: Stefano Ramacciato



Quantum Home Inspections
9235 Jane St., Suite 103
Maple, ON L6A0J8
416 844-0747

www.quantumhomeinspections.ca
info@quantumhomeinspections.ca

The best home inspection experience available.



May 26, 2024

Dear Dave Elfassy,

RE: Report No. 3296
193 Southvale Drive
Vaughan, ON
L6A 0Y9

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Stefano Ramacciato
on behalf of
Quantum Home Inspections

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ROOFING

193 Southvale Drive, Vaughan, ON May 26, 2024

Report No. 3296

www.quantumhomeinspections.ca

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

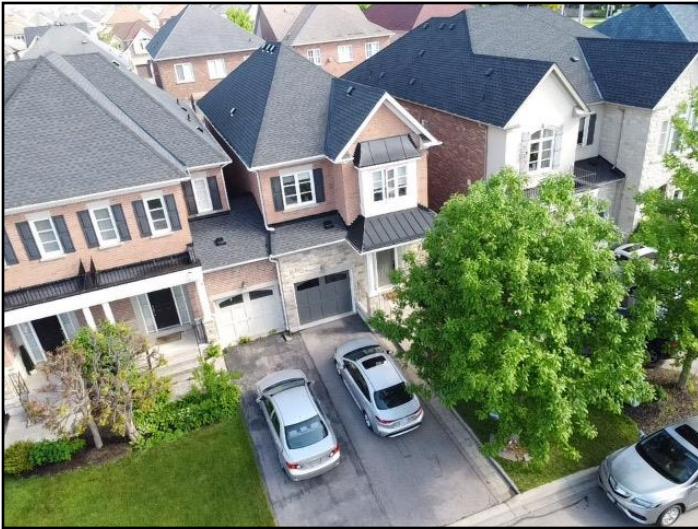
Sloped roofing material:

- [Asphalt shingles](#)

In great condition.

Approximately age 2 years old.

Probability of leakage is low.



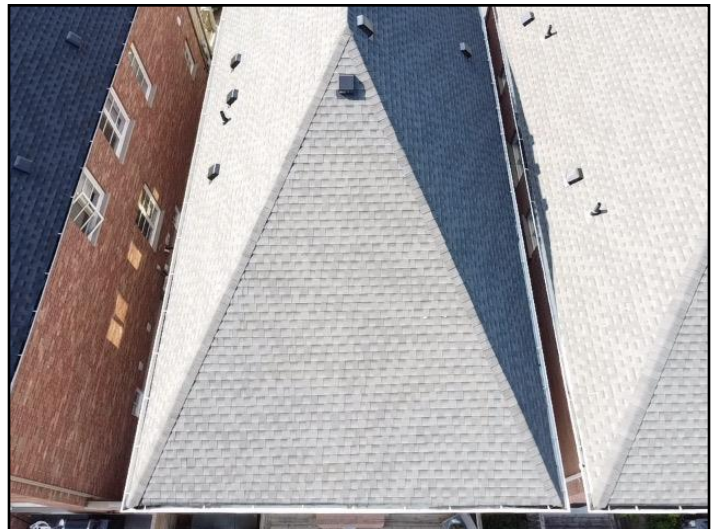
1.



2.



3.



4.

ROOFING

193 Southvale Drive, Vaughan, ON May 26, 2024

Report No. 3296

www.quantumhomeinspections.ca

- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



5.



6.

EXTERIOR

193 Southvale Drive, Vaughan, ON May 26, 2024

Report No. 3296

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • Installed Jacuzzi hot tub



7.

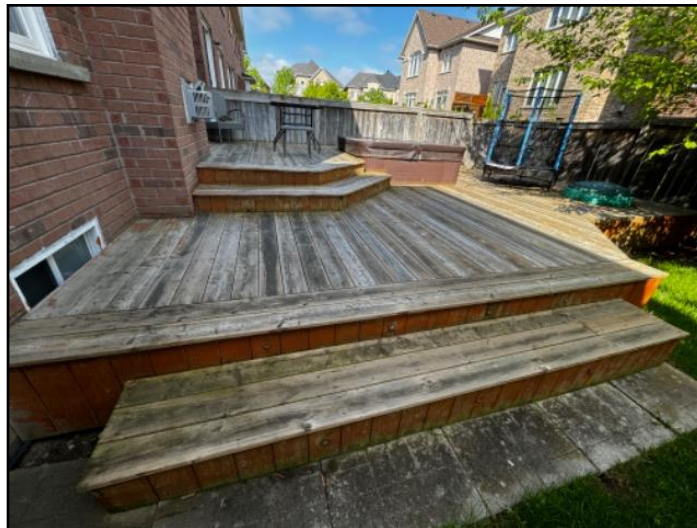


8.

Gutter & downspout material: • [Aluminum](#)

Deck:

• Wood



9.

Fence: • Wood

Garage vehicle doors: • Wood

Garage vehicle door operator (opener):

• Present



10.

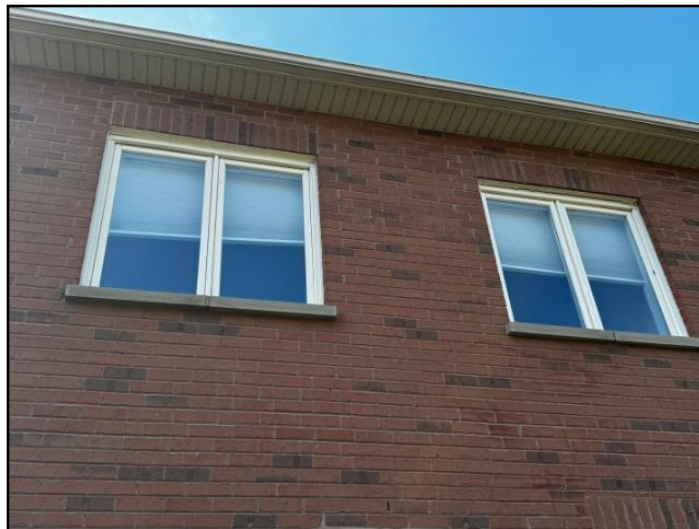
Recommendations

EXTERIOR GLASS/WINDOWS \ General notes

1. **Condition:** • Cracked outdoor caulking

Location: Throughout Exterior Wall

Task: Repair



11.

Description

Foundation material: • [Poured concrete](#)

Exterior wall construction: • Wood frame/ Brick

Roof and ceiling framing:

- [Trusses](#)
- [Plywood sheathing](#)

No signs of water damage, mold or structural issues.



12.

Recommendations

FOUNDATIONS \ General notes

2. Condition: • Typical minor cracks

Location: Right Side Exterior Wall & Basement

Task: Repair with Epoxy fill

STRUCTURE

193 Southvale Drive, Vaughan, ON May 26, 2024

Report No. 3296

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

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PLUMBING

INTERIOR

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13.

Description

Service size: • [100 Amps \(240 Volts\)](#)

Distribution panel type and location:

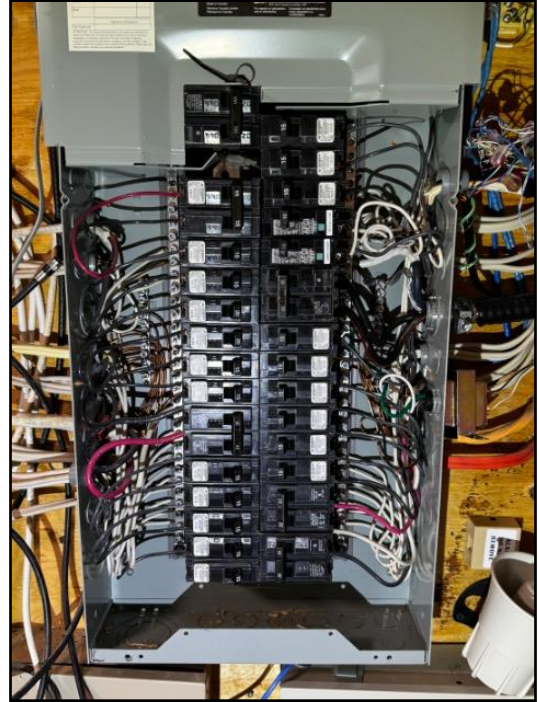
- [Breakers](#)

Missing two screws on the front panel replace it.

Located front basement



14.



15.

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Recommendations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

3. Condition: • Damage cover plate

Location: Front Basement

Task: Replace

Time: ASAP



16.

DISTRIBUTION SYSTEM \ Lights

4. **Condition:** • Missing light fixture in the primary bedroom closet.

Task: Replace

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

5. **Condition:** • Missing

Install combo unit, Carbon Monoxide & Smoke

Implication(s): Safety issue

Location: Second Floor

Task: Replace

Time: ASAP

6. **Condition:** • Old

Install combo units, Carbon Monoxide & Smoke

Implication(s): Life safety hazard

Location: First Floor & Basement

Task: Replace

Time: ASAP



17. Old

Description

Heating system type:

- [Furnace](#)

Model Year 2023

High Efficiency

60,000 BTU's

Replace filter every 3 months



18.



19.

Humidifier:

- [Trickle/cascade type](#)

Replace filter every fall.

Make sure the water valve is on.

Make sure the damper flap is opened for the winter and closed for the summer.

Make sure the humidistat is set about 35%

Located in the furnace area.

HEATING

193 Southvale Drive, Vaughan, ON May 26, 2024

Report No. 3296

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

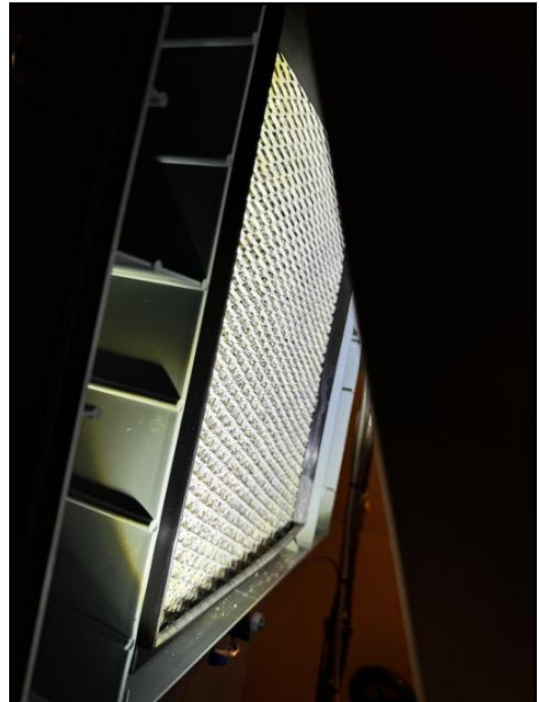
PLUMBING

INTERIOR

REFERENCE



20. Trickle/cascade type



21. Filter



22. humidistat

COOLING & HEAT PUMP

193 Southvale Drive, Vaughan, ON May 26, 2024

Report No. 3296

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Air conditioning type: • Heat pump

Model Year 2023

3 Tons Unit

In good working condition



23.

Description

Attic/roof insulation material:

- [Cellulose](#)



24. Cellulose

Description

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Meter

Located in the furnace room.



25. Meter

Water heater type:

- [Conventional](#)

- Rental

Model Year 2018

227 Litres



26. Rental

Pumps: • None

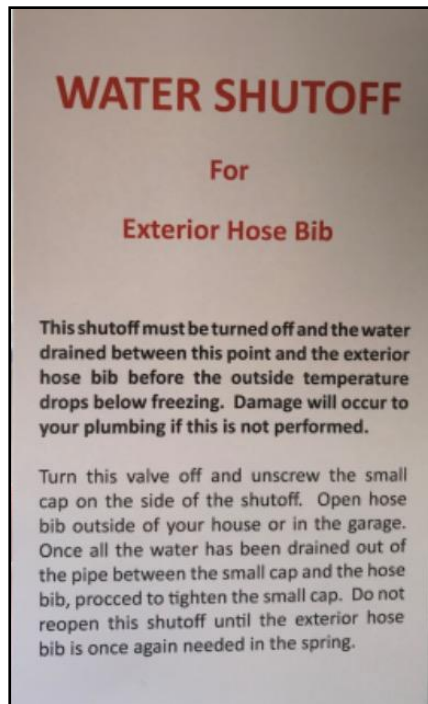
Backwater valve: • None noted

Exterior hose bibb (outdoor faucet):

• Present

Winterizing Hosebib

Shut off valves are located in the front & rear basement.



27.

Recommendations

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

7. Condition: • Missing pipe ring fitting

Location: Basement Bathroom

Task: Repair



28.

FIXTURES AND FAUCETS \ Bathtub

8. Condition: • Replace the spout

Location: Second Floor Bathroom



29.

FIXTURES AND FAUCETS \ Shower stall enclosure

9. Condition: • Replace the spouts

Location: Ensuite bathroom & Front Bathroom

Task: Replace



30.

10. Condition: • Glass enclosure needs adjustment

Also replace the flex plumbing pipes with a solid pex pipes.

Implication(s): Chance of water damage to contents, finishes and/or structure.

Location: Basement Bathroom

Task: Repair

Time: ASAP



31.



32.

FIXTURES AND FAUCETS \ Toilet

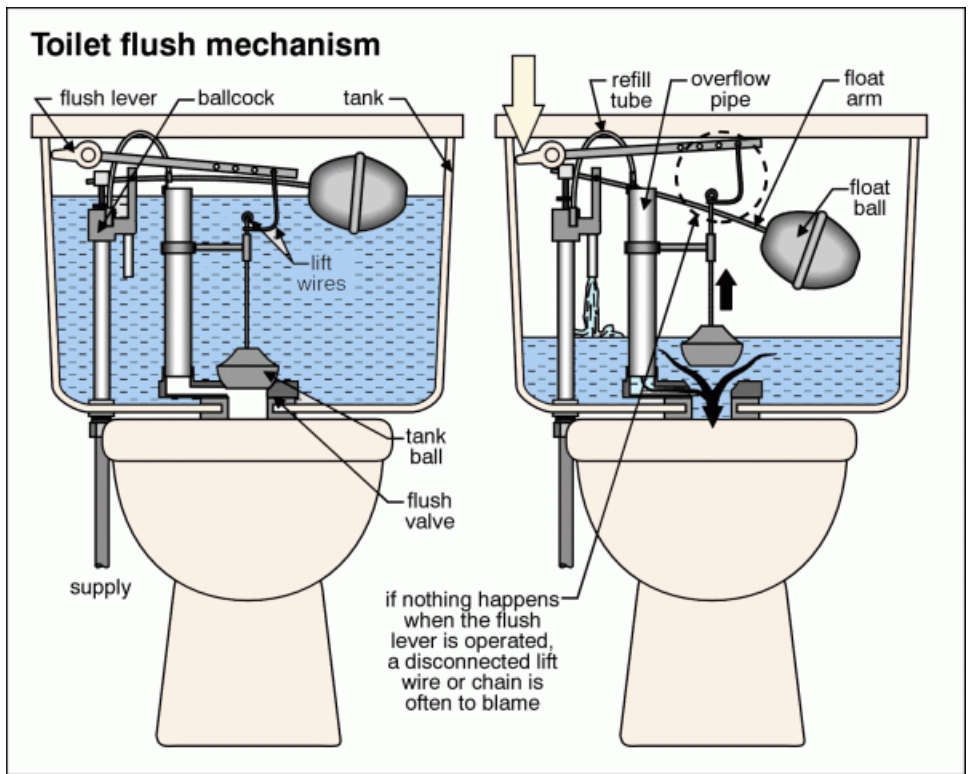
11. Condition: • [Running continuously](#)

Replace the flushing flap.

Implication(s): Chance of condensation damage to finishes and/or structure | Increased water consumption

Location: Second Floor Bathroom

Time: ASAP



33. *Running continuously*

Description

Major floor finishes: • [Hardwood](#) • [Laminate](#) • [Ceramic](#)

Windows: • Wood

Appliances: • Tested all appliances, all in good working condition.



34.



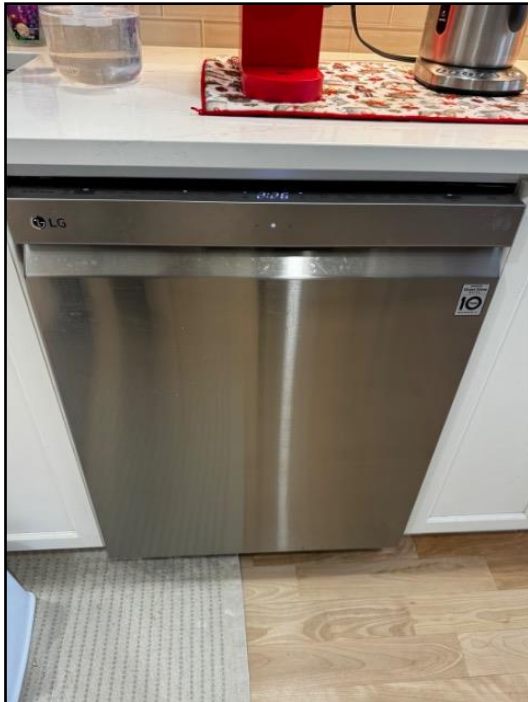
35.



36.



37.



38.



39.



40.

Inventory Garbage disposal (food waste grinder): • In good working condition.



41.

Limitations

Inspection limited/prevented by: • Storage/furnishings • Storage in closets and cabinets / cupboards

Recommendations

CEILINGS \ General notes

12. Condition: • Visible signs of water damage coming from the ensuite bathroom.
Contact a licensed plumber.

Location: Dining Room Ceiling

Task: Repair

Time: Immediate



42.



43.

WINDOWS \ Glass (glazing)

13. **Condition:** • [Lost seal on double or triple glazing](#)

Implication(s): Shortened life expectancy of material

Location: Ensuite Bathroom, Front & Middle Bedrooms

Task: Replace



44.

DOORS \ General notes

14. **Condition:** • Missing closet door in the primary bedroom closet.

Task: Replace

15. Condition: • Needs adjustment

Location: Cold Room & Basement Washroom

Task: Repair

EXHAUST FANS \ General notes

16. Condition: • Not venting to the exterior wall.

Venting into the furnace room.

Implication(s): Chance of condensation

Location: Basement Bathroom

Task: Correct

Time: ASAP



45.

EXHAUST FANS \ Duct

17. Condition: • Damage weather hoods

Location: Right Side Exterior Wall

Task: Replace



46.



47.

APPLIANCES \ Dishwasher

18. Condition: • Missing shut off valve handle.

Location: Kitchen

Task: Replace



48.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS